



LOCALITIES AND INFRASTRUCTURE

Planning Schedule

APPLICATIONS, RECOMMENDATIONS, DECISIONS and INFORMATION

Date **8 February 2017**

Week Number **05**

The Planning Schedule Recommendations contained in the following Planning Schedule will become formal decision of the Planning Authority at 0900hrs on **Thursday, 16 February 2017** unless the Planning & Building Standards Service Manager receives from a Councillor a written objection to the recommendation outlining relevant planning reasons and requesting that the application is referred to the Planning Panel for determination. The deadline for the Planning & Building Standards Service Manager to receive such written objections from Councillors to this week's Planning Schedule Recommendations is therefore 1700hrs on **Wednesday, 15 February 2017**.

The Planning Schedule

The Planning Schedule

The Planning Schedule is issued every week and contains information on a range of planning matters.

The Schedule is distributed to all Councillors, Community Councils and statutory consultees. It is available on the Council's internet site – www.stirling.gov.uk. Information on all planning applications submitted to the Council may also be obtained from www.stirling.gov.uk/onlineplanning.

Applications Received

When a Valid Planning Application is registered it is given a unique reference number. If you are enquiring about any of the applications please contact the Officer shown in the Schedule and refer to the application reference number.

The list of applications received includes an indication of the anticipated decision making level which is governed by the Hierarchy of Developments and the Council's Scheme of Delegation. An explanation of the Council's new Section 43A Council report is available at www.stirling.gov.uk/planning.

The decision making levels are:

Panel – the application will be determined by the Planning Panel having considered the Planning Officer's recommendation and any other relevant representations. See Hearing Interested Parties.

Schedule – the Planning Officer's recommendation on the application will appear in the Schedule under Planning Schedule – Recommendations – see below.

Delegated – the application will be determined by an Appointed Officer and his decision will appear in the Schedule under Decisions of Appointed Officers – see below.

Decision of Appointed Officers

Generally applications for developments which are classified as "local developments" under the Hierarchy of Developments will be determined by an Appointed Officer under the Council's Section 43A Scheme of Delegation. There are certain exceptions - see Scheme of Delegation below.

The decisions appear in the Schedule as a matter of record only.

The applicant has a right of review of the Appointed Officer's decision. The Council's Local Review Body will consider any such review. Please refer to Planning Circular 7/2009 Schemes of Delegation and Local Reviews for more information and also at www.scotland.gov.uk.

Planning Schedule – Recommendations

This part of the Schedule contains the Planning Officer's recommendation on an application. At the end of the seven day period the recommendation will become the decision of the Planning Authority unless the Planning & Building Standards Service Manager receives from a Councillor a written objection to the recommendation outlining relevant planning reasons and requesting that the application is referred to the Planning Panel for determination. Such requests must reach the Planning & Building Standards Service Manager before the deadline shown on the front page of this Planning Schedule.

At the end of the seven day period formal Decision Notices will be issued for the recommendations which are not referred to Planning Panel.

Hearing Interested Parties at Planning Panel: The Planning Panel may decide if objectors and applicants will be invited to address the Panel on a particular application. Generally this will occur only where it is felt that this will further inform the Panel in its consideration of a Planning Application and will only be used when considering more complex and contentious issues. Contributions will generally be limited to 5 minutes from each side.

Community Councils: Any Community Council will be consulted on an application if a written request is made (telephone the Case Officer in first instance). Community Councils are expected to act within the provisions on PAN47, and concern themselves only with cases that raise issues of genuine community interest. Householder applications will rarely involve issues of this kind.

Planning Panel Recommendations

This section contains Planning Officers' recommendations for applications which are scheduled for consideration at the Planning Panel meeting as stated.

Planning Panel Decisions

This section contains the decisions of the Planning Panel.

Hierarchy of Developments

The Town and Country Planning (Hierarchy of Developments) (Scotland) Regulations 2009 created a classification for all developments across Scotland. The three categories in the hierarchy of development to which all developments will be allocated are:-

- National development;
- Major developments; and
- Local development.

The top tier of developments is national developments and these are contained in the National Planning Framework for Scotland published by the Scottish Ministers in June 2009. The National Planning Framework may be viewed at www.scotland.gov.uk.

Below national developments are major and local developments. Whether a development is a major or local development is determined by whether the development falls above or below certain thresholds. There are 9 thresholds. Where a development meets or exceeds the following thresholds the development will be classed as a major development. Any development below the thresholds will be local developments. The thresholds are:

- 1 All development under Schedule 1 to the Environmental Impact Assessment (Scotland) Regulations 1999.
- 2 Housing where the development comprises 50 or more dwellings or the area of the site is or exceeds 2 hectares.
- 3 Business of general industrial, storage and distribution with a gross floor space of 10,000 square metres or the area of the site is or exceeds 2 hectares.
- 4 Electricity Generation where the generating capacity is or exceeds 20 megawatts.
- 5 Waste Management Facilities where the capacity of the facility is or exceeds 25,000 tonnes per annum or for sludge treatment facilities where the capacity to treat more than 50 tonnes (wet weight) per day of residual sludge.
- 6 Transport and infrastructure projects where the length of road, railway, tramway, waterway, aqueduct or pipeline exceeds 8 kilometres.
- 7 Fish farming where the surface area of water covered is or exceeds 2 hectares.
- 8 Mineral extraction where the site area is or exceeds 2 hectares.
- 9 Other Development not falling wholly within one of the above classes where the gross floor space is or exceeds 5,000 square metres or the area of the site is or exceeds 2 hectares.

Scheme of Delegation

In the case of Major Developments and subject to the right of Councillors to request (for relevant planning reasons) that the application be referred to the Planning Panel for determination, the recommendation of the Planning Officer shall appear in the Planning Schedule and such recommendation will become the decision of the Planning Authority unless the application is referred to the Planning Panel.

Generally, Local Developments will be determined by an Appointed Officer in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 and the Council's Section 43A Scheme of Delegation which is published below. There are seven exceptions listed (a) to (g) below where Local Developments will either be determined by the Planning Panel or appear as a Planning Schedule Recommendation.

Planning - Section 43A Scheme of Delegation

The following is an excerpt from the Council's Scheme of Delegation:

This part of the Scheme of Delegation is operated under Section 43A of the Town and Country Planning (Scotland) Act 1997 and Part 2 of the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2008.

The Appointed Officer, being the Officer appointed under Section 43A(1) of the Town and Country Planning (Scotland) Act 1997 and EPR52, is authorised to determine any application for planning permission (and any application for consent, agreement or approval required by condition imposed on a grant of planning permission) and being applications which fall within the definition of a local development as specified in the Town and Country Planning (Hierarchy of Developments) (Scotland) Regulations 2009 under the following exceptions:-

(a) Planning Authority Applications

The application (a) is made by the Planning Authority or a Member of the Planning Authority, or by members of staff directly involved in the planning process or (b) relates to land in the ownership of the Planning Authority or to land in which the Planning Authority have a financial interest. Any application falling within this exception shall be determined through the Weekly Planning Schedule under EPR67.

(b) Section 43A(6) Remit to Planning Panel

Prior to either (a) the determination of the application by the Appointed Officer or (b) the request by the Applicant for a review on the grounds of non-determination under Section 43A(8)(c) of the Town and Country Planning (Scotland) Act 1997, the Planning Panel or the Planning & Building Standards Service Manager or any Officer authorised by him (including the Appointed Officer) decide that the application should be remitted to the Planning Panel for determination under Section 43A(6) of the Town and Country Planning (Scotland) Act 1997.

(c) Member Remit to Planning Panel

Prior to either (a) the determination of the application by the Appointed Officer or (b) the request by the Applicant for a review on the grounds of non-determination under Section 43A(8)(c) of the Town and Country Planning (Scotland) Act 1997, the Planning & Building Standards Service Manager receives from a Member a written request setting out relevant planning reasons for referral of the application to the Planning Panel for determination and the Planning & Building Standards Service Manager, in consultation with the Chair and Vice Chair of the Planning Panel, agrees to the request.

(d) **Significant Local Objection**

Prior to either (a) the determination of the application by the Appointed Officer, or (b) the request by the Applicant for a review on the grounds of non-determination under Section 43A(8)(c) of the Town and Country Planning (Scotland) Act 1997, and in circumstances where the determination by Appointed Officer would likely to have been to approve the application, the Planning & Building Standards Service Manager receives significant local objections and is satisfied that the objections disclose relevant planning reasons. Any application falling within this exception shall be determined through the Weekly Planning Schedule under EPR67.

(e) **Contrary to local Development Plan**

The application is a significant departure from the Local Development Plan. Any application falling within this exception shall be determined through the Weekly Planning Schedule under EPR67.

(f) **Scottish Ministers**

The application requires to be notified to the Scottish Ministers. Any application falling within this exception shall be determined through the Weekly Planning Schedule under EPR67.

(g) **Listed Building Consent etc**

Any application which also requires any or all of the following: (i) Listed Buildings Consent, (ii) Conservation Areas Consent; (iii) Hazardous Substances Consent; and (iv) Control of Advertisements Consent. Any application falling within this exception shall be determined through the Weekly Planning Schedule under EPR67.

Only exceptions (a), (b), (f) and (g) shall apply to applications for a householder development falling within Classes 1 to 6 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 or a sundry minor operation falling within Classes 7, 8, or 9 of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992.

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Who to contact in Planning

If you have a query about a Planning Application or related matter you should contact the appropriate member of staff using their personal direct dial phone number. If they are not available, your call will be automatically redirected to our Planning Support staff who will be pleased to help you. If necessary they can arrange an appointment for you to see somebody who can deal with your particular query. The dialling code for Stirling is (01786).

SERVICE MANAGER PLANNING & BUILDING STANDARDS
Christina Cox: ☎ 233682, Email: coxc@stirling.gov.uk

DEVELOPMENT MANAGEMENT
Team Leader, Jay Dawson:.....
☎ 233683 Email: dawsonj@stirling.gov.uk
Senior Planning Officer, Iain Jeffrey:.....
☎ 233676 Email: jeffreyi@stirling.gov.uk
Senior Planning Officer, Jane Brooks Burnett:
☎ 233672 Email: brooksburnettj@stirling.gov.uk
Planning Officer, Peter McKechnie:.....
☎ 233679 Email: mckechniep@stirling.gov.uk
Planning Officer, Gavin Forrest:
☎ 233674 Email: forrestg@stirling.gov.uk
Planning Officer, Mark Laird:.....
☎ 233678 Email: lairdm@stirling.gov.uk
Graduate Planning Officer, Charlotte Brown:
☎ 233623 Email: brownch@stirling.gov.uk

PLANNING ENFORCEMENT
Enforcement Officer, Lynne Currie:.....
☎ 233673 Email: curriel@stirling.gov.uk
Asst Enforcement Officer, Andrew Gardiner:
☎ 233675 Email: gardinera@stirling.gov.uk

TREES
Tree Officer, Ingrid Withington:.....
☎ 233681 Email: withingtoni@stirling.gov.uk

Valid Planning Applications Received

Major Developments

Application Number	Description	Decision Level
There are no major developments in the Stirling Council area this week.		

Local Developments

Application Number	Description	Decision Level
16/00829/LBC 3 Feb 2017 Ward 4 Castle 279658 693582	Removal of 2No. ATM machines and reinstatement to windows at 82 Murray Place, Stirling, FK8 2BX for RBS per Styles And Wood Plc Cavendish House Cross Street Sale M33 7BU Officer: Charlotte Brown, Tel: 01786 233623, Email: brownch@stirling.gov.uk View this Application	Schedule LB Cat: B
17/00050/LBC 27 Jan 2017 Ward 4 Castle 279446 693978	Repairs to wash house at 42 Queen Street, Stirling, FK8 1HN for Professor JTL Wilson 42 Queen Street Stirling FK8 1HN Officer: Charlotte Brown, Tel: 01786 233623, Email: brownch@stirling.gov.uk View this Application	Schedule
17/00043/LBC 1 Feb 2017 Ward 3 Dunblane & Bridge Of Allan 278213 701510	To mount a public access defibrillator on angled wall at front of building at Braeport Centre, Braeport, Dunblane, FK15 0AT for Dunblane Development Trust Youth Centre Braeport Dunblane FK15 0AT Officer: Gavin Forrest, Tel: 01786 233674, Email: forrestg@stirling.gov.uk View this Application	Delegated
17/00057/FUL 2 Feb 2017 Ward 3 Dunblane & Bridge Of Allan 278790 701323	Alterations to wall to form a gated pedestrian access and installation of an automated driveway gate at Dunrobin, The Crescent, Dunblane, FK15 0DW for Mrs Judith Smith per Tracy Rich Design 11A Queen Street Stirling FK8 1HL Officer: Iain Jeffrey, Tel: 01786 233676, Email: jeffreyi@stirling.gov.uk View this Application	Delegated

<p>17/00040/LBC 27 Jan 2017 Ward 2 Forth & Endrick 252463 684910</p>	<p>Additional minor repairs to the existing chimney caps (2 No.) including the replacement of broken pots to match the originals (retrospective) at Drumwhirn, 7 Drumbeg Loan, Killearn, G63 9LG for Mr & Mrs Ricardo Giovanacci per Design Works 38 Gibson Street Glasgow G12 8HX Officer: Peter McKechnie, Tel: 01786 233679, Email: mckechniep@stirling.gov.uk View this Application</p>	<p>Schedule LB Cat: C(s)</p>
<p>17/00049/NAG 3 Feb 2017 Ward 2 Forth & Endrick 247171 685740</p>	<p>Erection of agricultural building for storage of hay and machinery at Low Gartachorrans Farm, Croftamie, G63 0HE for Rory Kerr Low Gartachorrans Farm Croftamie G63 0HE Officer: Mark Laird, Tel: 01786 233678, Email: lairdm@stirling.gov.uk View this Application</p>	<p>Delegated</p>
<p>17/00054/FUL 30 Jan 2017 Ward 2 Forth & Endrick 255375 688739</p>	<p>Widening of existing front and rear dormers, new windows to the same and renewal of roof tiles at Creag Mhor, 77 Dunmore Street, Balfron, G63 0PZ for Mr & Mrs Garner per Mr Robert Johnston Crossburn Milngavie G62 7HJ Officer: Mark Laird, Tel: 01786 233678, Email: lairdm@stirling.gov.uk View this Application</p>	<p>Delegated</p>
<p>17/00055/FUL 30 Jan 2017 Ward 2 Forth & Endrick 254746 688591</p>	<p>Proposed extension to existing workshop and store to form additional floor area with internal alterations to form new openings, office and toilet facility at Unit 1, Dunmore Street, Balfron, G63 0TU for Mrs Elspeth Bennie per LEH Architects 6 Endrick Way Croftamie Glasgow G63 0DH Officer: Peter McKechnie, Tel: 01786 233679, Email: mckechniep@stirling.gov.uk View this Application</p>	<p>Delegated</p>
<p>17/00062/FUL 1 Feb 2017 Ward 6 Stirling East 281309 693112</p>	<p>Glazing infill to existing walkway canopy to form an entrance lobby at 17 Springkerse Retail Park, Stirling, FK7 7SR for Wm Morrisons Supermarkets PLC per SDA 16 Lynedoch Crescent Glasgow G3 6EQ Officer: Peter McKechnie, Tel: 01786 233679, Email: mckechniep@stirling.gov.uk View this Application</p>	<p>Delegated</p>
<p>17/00068/FUL 3 Feb 2017 Ward 6 Stirling East 280916 691547</p>	<p>Single storey garden room extension to rear of property at Bydand, 10 Mowbrey Court, Balquhiddelock, Stirling, FK7 7UX for Mr & Mrs G Lawrie per McCourt Building Design Inverlony Cottage Leny Feus Callander FK17 8AS Officer: Charlotte Brown, Tel: 01786 233623, Email: brownch@stirling.gov.uk View this Application</p>	<p>Delegated</p>

<p>17/00047/FUL 27 Jan 2017 Ward 5 Stirling West 277236 692415</p>	<p>Formation of dormer to front of dwelling house at Craigmont, Firpark Terrace, Cambusbarron, FK7 9ND for Mr & Mrs A Stewart per BDA Design 38 Wellpark Crescent Stirling FK7 9HF Officer: Gavin Forrest, Tel: 01786 233674, Email: forrestg@stirling.gov.uk View this Application</p>	<p>Delegated</p>
<p>17/00051/ADV 2 Feb 2017 Ward 5 Stirling West 279995 689940</p>	<p>Erection of fascia signs at Land And Buildings At Former Klondyke Garden Centre, Glasgow Road, Whins Of Milton for T J Morris per Chartwell Project Management Unit 15 Meridian Business Village Hansby Drive Liverpool L24 9LG Officer: Peter McKechnie, Tel: 01786 233679, Email: mckechniep@stirling.gov.uk View this Application</p>	<p>Delegated</p>
<p>17/00053/LBC 1 Feb 2017 Ward 5 Stirling West 279116 693078</p>	<p>Internal alterations and addition of new rear extension at 27 Victoria Place, Kings Park, Stirling, FK8 2QT for Mrs Caroline Ordóñez-Sanz per Mhairi Grant Ostro Fintry Road Kippen FK8 3HL Officer: Mark Laird, Tel: 01786 233678, Email: lairdm@stirling.gov.uk View this Application</p>	<p>Schedule LB Cat: C(s)</p>
<p>17/00056/FUL 1 Feb 2017 Ward 5 Stirling West 279116 693078</p>	<p>External alterations and addition of new rear extension at 27 Victoria Place, Kings Park, Stirling, FK8 2QT for Mrs Caroline Ordóñez-Sanz per Paper Igloo Ltd Ostro Fintry Road Kippen FK8 3HL Officer: Mark Laird, Tel: 01786 233678, Email: lairdm@stirling.gov.uk View this Application</p>	<p>Schedule LB Cat: C(s)</p>
<p>17/00059/FUL 31 Jan 2017 Ward 5 Stirling West 279712 692938</p>	<p>Renewal of planning permission 13/00704/FUL for change of use from office building to hotel comprising 96No. guest rooms with public area (reception, bar, lounge area and restaurant) under Regulation 11 of the Development Management Procedure (Scotland) Regulations 2013 at Land And Building At Drummond House, Wellgreen Place, Stirling for ZR Properties per A10 Architects Ltd 12 Moss-side Road Glasgow G41 3TL Officer: Mark Laird, Tel: 01786 233678, Email: lairdm@stirling.gov.uk View this Application</p>	<p>Delegated</p>
<p>17/00063/FUL 1 Feb 2017 Ward 5 Stirling West 279345 688776</p>	<p>Erection of steel portal frame agricultural building at Land 115M North East Of Rosehall, Stirling for Mr MacGregor per Robinsons Scotland Ltd Broomhouses 2 Industrial Estate Glasgow Road Lockerbie DG11 2SD Officer: Peter McKechnie, Tel: 01786 233679, Email: mckechniep@stirling.gov.uk View this Application</p>	<p>Delegated</p>

17/00058/FUL 1 Feb 2017 Ward 1 Trossachs & Teith 272574 696961	Proposed general purpose storage area at West Rosburn Lane Farm, Stirling, FK9 4AH for HRN Tractors per Algo Design And Build Ltd Algo Business Centre Glenearn Road Perth PH2 0NJ Officer: Gavin Forrest, Tel: 01786 233674, Email: forrestg@stirling.gov.uk View this Application	Delegated
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17/00060/FUL 3 Feb 2017 Ward 1 Trossachs & Teith 272805 697201	Erection of dwelling house at Land North East And Adjacent To Elmwood Farm, Sommer's Lane, Ochertyre, Blairdrummond for Mr Blair Craig per Greenfields Design Ltd 2B Bank Street Alloa FK10 1HP Officer: Gavin Forrest, Tel: 01786 233674, Email: forrestg@stirling.gov.uk View this Application	Delegated
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Developments in which there is Council Interest

These are applications where the Council has a financial interest in the land or the applicant is the Council.

Application Number	Description	Decision Level
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No Council Interest applications have been received this week.

Decisions of Appointed Officers

The decisions are published here as a matter of record only. The applicant has been informed of the Appointed Officer's decision and of the right to seek a review of the decision by the Council's Local Review Body.

PROPOSAL: Installation of a 15m Elara pole with 3No. antennas, 2No. 300mm dishes, radio equipment housing and ancillary development at Grass Verge Opposite The Birds And The Bees Easter Cornton Road Causewayhead Stirling

UPRN: 000122070290
Ward: Ward 4 Castle
Reference: 16/00663/FUL
Type: Full
Date Valid: 14 October 2016
Officer: Iain Jeffrey, Telephone: 01786 233676, Email: jeffreyi@stirling.gov.uk

Applicant/Agent: CTIL per Dales Surveying Ltd Cow Pasture Barn Hawes DL8 3PS

Decision: Refuse

PROPOSAL: Construction of new dropped kerb and access from Lindsay Drive to Scottish Water apparatus at Land Adjacent And South Of No. 8 Lindsay Drive Causewayhead Stirling

UPRN: 000122070365
Ward: Ward 4 Castle
Reference: 16/00776/FUL
Type: Full
Date Valid: 5 December 2016
Officer: Iain Jeffrey, Telephone: 01786 233676, Email: jeffreyi@stirling.gov.uk

Applicant/Agent: Scottish Water Fairmilehead - Specialist Services Planning 55 Buckstone Terrace Edinburgh EH10 6XH

Decision: Approve

PROPOSAL: **5Nos. revised totem/wayfinder signs, sub-fascia sign and panel/marketing poster board at Sainsburys Back O'Hill Road Raploch Stirling FK8 1RA**

UPRN: **000122022032**
Ward: **Ward 4 Castle**
Reference: **16/00806/ADV**
Type: Advertisement
Date Valid: 16 December 2016
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk

Applicant/Agent: Sainsbury's Supermarkets Limited per WYG The Cube 45 Leith Street
Edinburgh EH1 3AT

Decision: Approve

PROPOSAL: **Alterations to remove existing garage flat roof and replace with new slated pitched roof at Abbey Villa North Street Cambuskenneth Stirling FK9 5NB**

UPRN: **000122029597**
Ward: **Ward 4 Castle**
Reference: **16/00813/FUL**
Type: Full
Date Valid: 12 December 2016
Officer: Gavin Forrest, Telephone: 01786 233674, Email: forrestg@stirling.gov.uk

Applicant/Agent: Mr G Robertson per Farquhar MacLean Beechcroft Studio Northlea Doune
FK16 6DH

Decision: Approve

PROPOSAL: **Erection of single storey rear and side wrap around extension at 28 Murdoch Terrace Dunblane FK15 9JF**

UPRN: **000122004258**
Ward: **Ward 3 Dunblane & Bridge Of Allan**
Reference: **16/00807/FUL**
Type: Full
Date Valid: 9 December 2016
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk

Applicant/Agent: Mrs Lorna Conelly per Mparchitecture Ltd Macfarlane Gray House
Castlecraig Business Park Stirling FK7 7WT

Decision: Approve

PROPOSAL: Replacement house at Mains of Balhaldie at Mains Of Balhaldie Dunblane FK15 0NB

UPRN: **000122047914**
Ward: **Ward 3 Dunblane & Bridge Of Allan**
Reference: **16/00828/FUL**
Type: Full
Date Valid: 5 January 2017
Officer: Gavin Forrest, Telephone: 01786 233674, Email: forrestg@stirling.gov.uk

Applicant/Agent: Mr Tom McQuat per Greenfields Design Ltd 2B Bank Street Alloa FK10 1HP

Decision: Approve with Conditions

PROPOSAL: Extension to rear of the house forming a new kitchen, living area at 29 Anchorscross Dunblane FK15 9JP

UPRN: **000122004543**
Ward: **Ward 3 Dunblane & Bridge Of Allan**
Reference: **17/00001/FUL**
Type: Full
Date Valid: 4 January 2017
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk

Applicant/Agent: Mr A Seal per Ian Wallace Architect 23 Strathmore Avenue Dunblane FK15 9HX

Decision: Approve

PROPOSAL: New single storey rear extension with adjacent raised timber deck and new front entrance porch at 4 Crosshead Road Killearn G63 9RN

UPRN: **000122007415**
Ward: **Ward 2 Forth & Endrick**
Reference: **16/00740/FUL**
Type: Full
Date Valid: 15 November 2016
Officer: Gavin Forrest, Telephone: 01786 233674, Email: forrestg@stirling.gov.uk

Applicant/Agent: Mr Alan Campbell per Morris Architects Rowan House 4 Castle Gardens Ballikinrain Balfroun

Decision: Approve

**PROPOSAL: Single storey rear extension at Stable Mews Cottage
Blanefield G63 9AX**

UPRN: **000122046906**
Ward: **Ward 2 Forth & Endrick**
Reference: **16/00761/FUL**
Type: Full
Date Valid: 23 November 2016
Officer: Gavin Forrest, Telephone: 01786 233674, Email: forrestg@stirling.gov.uk

Applicant/Agent: Mr Kenneth Tighe per Carol Hamilton Architect 26 Braeside Ave Milngavie
Glasgow G62 6LJ

Decision: Approve

**PROPOSAL: Erection of one and a half storey dwelling house and
detached garage for fishery manager (PPP reference
10/00565/PPP) at Land Some 210M West Of Blairmore
Farmhouse Drymen**

UPRN: **000122064666**
Ward: **Ward 2 Forth & Endrick**
Reference: **16/00825/MSC**
Type: Matters Specified by Condition
Date Valid: 9 January 2017
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk

Applicant/Agent: Ms Jenni McAllister per Peter Cummins Architect 1 West Road
Charlestown Dunfermline KY11 3EW

Decision: Approve - MSC

**PROPOSAL: Full roof replaced using Burlington slate and traditional
methods, in keeping with the style and age of the property
at 43 Dumbarton Road East Stirling FK8 2QJ**

UPRN: **000122019860**
Ward: **Ward 5 Stirling West**
Reference: **16/00836/FUL**
Type: Full
Date Valid: 21 December 2016
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk

Applicant/Agent: Mrs Brigid Russell 43 Dumbarton Road Stirling FK8 2QJ

Decision: Approve with Conditions

PROPOSAL: Erection of one dwelling house and annexe at Old Walled Garden Bridge Of Allan

UPRN: **000122059035**
Ward: **Ward 1 Trossachs & Teith**
Reference: **16/00735/FUL**
Type: Full
Date Valid: 11 November 2016
Officer: Iain Jeffrey, Telephone: 01786 233676, Email: jeffreyi@stirling.gov.uk

Applicant/Agent: Mr P Jason per Farquhar MacLean Beechcroft Studio Northlea Doune FK16 6DH

Decision: Approve with Conditions

PROPOSAL: Proposed Co-op fascia and projecting sign, three banners signs, a bag sign, a goods delivery sign and a keep clear sign at Land And Buildings To Rear Of 52 To 54 Main Street Castlehill Doune

UPRN: **000122042241**
Ward: **Ward 1 Trossachs & Teith**
Reference: **16/00787/ADV**
Type: Advertisement
Date Valid: 5 December 2016
Officer: Iain Jeffrey, Telephone: 01786 233676, Email: jeffreyi@stirling.gov.uk

Applicant/Agent: Food Programme Delivery Orchid Group per Futurama Olympia House Middleton Grove Leeds LS11 5TY

Decision: Approve with Conditions

PROPOSAL: Prior Notification for Farm-related building works (non-residential) at Auchensalt Thornhill FK8 3QJ

UPRN: **000122046553**
Ward: **Ward 1 Trossachs & Teith**
Reference: **16/00837/NAG**
Type: Agricultural Notification
Date Valid: 23 December 2016
Officer: Gavin Forrest, Telephone: 01786 233674, Email: forrestg@stirling.gov.uk

Applicant/Agent: Mr Saul Galloway per Houghton Planning Ltd 102 High Street Dunblane FK15 0ER

Decision: Approve

PROPOSAL: **Prior Notification for Farm-related building works (non-residential) at Auchensalt Thornhill FK8 3QJ**

UPRN: **000122046553**

Ward: **Ward 1 Trossachs & Teith**

Reference: **16/00838/NAG**

Type: Agricultural Notification

Date Valid: 23 December 2016

Officer: Gavin Forrest, Telephone: 01786 233674, Email: forrestg@stirling.gov.uk

Applicant/Agent: Mr Saul Galloway per Houghton Planning Ltd 102 High Street Dunblane
FK15 0ER

Decision: **Approve**

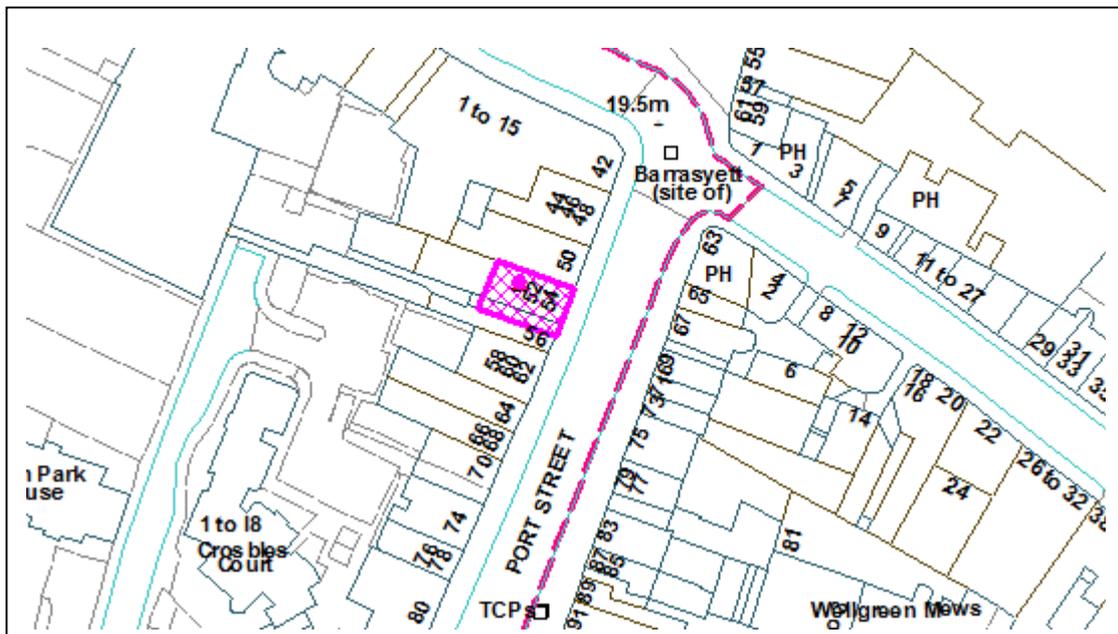
Planning Schedule Recommendations

All of the applications in this Schedule have been considered against the Development Plan and unless otherwise stated accord with the provisions of the Development Plan, in terms of Sections 25 and 37 of the Town and Country Planning (Scotland) Act 1997.

PROPOSAL: Proposed change of use from office to 2 dwelling flats at Land And Buildings At 54A And 54B Port Street Stirling

UPRN: 000122070332
Ward: Ward 4 Castle
Reference: 16/00755/FUL
Type: Full
Date Valid: 23 November 2016
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk
Website: www.stirling.gov.uk/onlineplanning

Applicant/Agent: Mr Brian Falconer per TBB Architecture 17 Cockburn Street Falkirk FK1 1DJ



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Recommendation: Approve with Conditions

Subject to the following Conditions:

- 1 **Partition Walls:** That within 54B Port Street all partition walls hereby approved shall be no higher than 2 metres and shall be enclosed without affecting any corning and/or ceiling plasterwork to the written satisfaction of the Planning Authority.

Reason(s):

- 1 To ensure there is no detrimental impact to the character of the Listed Building.

Status Constraints:

Conservation Area,
LB Cat: B

Supplementary Information:

Report of Handling

Summary of Representations

No representations received.

Summary of Consultation Responses

Roads Development Management: No objections raised and no conditions to be applied.

Environmental Health: No objection subject to conditions regarding noise.

Development Plan and Other Material Considerations

Primary Policy 1: Placemaking, of the Stirling Local Development Plan, September 2014, states that development of all scales must be designed and sited, not only with reference to their own specifications and requirements, but also in relation to the character and amenity of the place, urban or rural, where they are located.

Policy 2.6: The Network of Centres, of the Stirling Local Development Plan, September 2014, states that changes of use to residential use will not generally be supported on the ground floor of buildings.

Primary Policy 7: Historic Environment, of the Stirling Local Development Plan, September 2014, the historic environment and, where appropriate, the settings of its component features will be safeguarded, preserved and enhanced.

Policy 7.2: Development within and outwith Conservation Areas, of the Stirling Local Development Plan, September 2014,

Policy 7.3: Development affecting Listed Buildings, of the Stirling Local Development Plan, September 2014, states that the layout, design, materials, scale, siting and use of any development must preserve the character of the Listed Buildings and its setting. Where this is not proposed, development will be refused.

Summary of Submission

Planning permission is sought for the change of use of 2 office units (Use Class 2) to 2 residential flats (Sui Generis) at 54A and 54B Port Street Stirling. The application relates to a category B Listed Building which falls within the designated Stirling Town Conservation Area and the Network Centre as identified in the Local Development Plan. The building, dated 1901, is decorative 4-storey and attic building in an English Queen Anne style comprising shops to ground floor, offices to first floor and residential flat to the upper floors.

The development proposal includes the formation of two single bed dwelling flats. The proposals, in terms of planning use, are considered compatible with existing adjoining uses. Furthermore, the proposals do not conflict with the provisions of Policy 2.6 relating to the restriction of residential uses at the ground floor level of buildings within the Network Centre.

In terms of the detailed proposals, the internal alterations respect the hierarchy of rooms within the building and the features of special interest which they possess; in particular, the ornate cornicing and plasterwork to the ceiling of 54B. The development proposal is in compliance with Primary Policy 7 and Policy 7.3.

The development proposal accords with the provisions of the Development Plan policy relating to the protection of the historic environment and residential amenity, by virtue of its sympathetic design, and its compatible relationship with the surrounding and adjoining properties; the granting of planning permission is justified.

Summary of Main Issues Raised In Respect of:

Any Environmental Statement submitted.

Any assessment under Conservation (Natural Habitats &c.) Regulations 1994 carried out.

Any Design Statement or Design and Access Statement submitted.

Any report on impact or potential impact of the proposed development (e.g. retail, transport, noise or risk of flooding) submitted→.

Not Applicable.

Summary of terms of Section 75 Legal Agreements

Not Applicable.

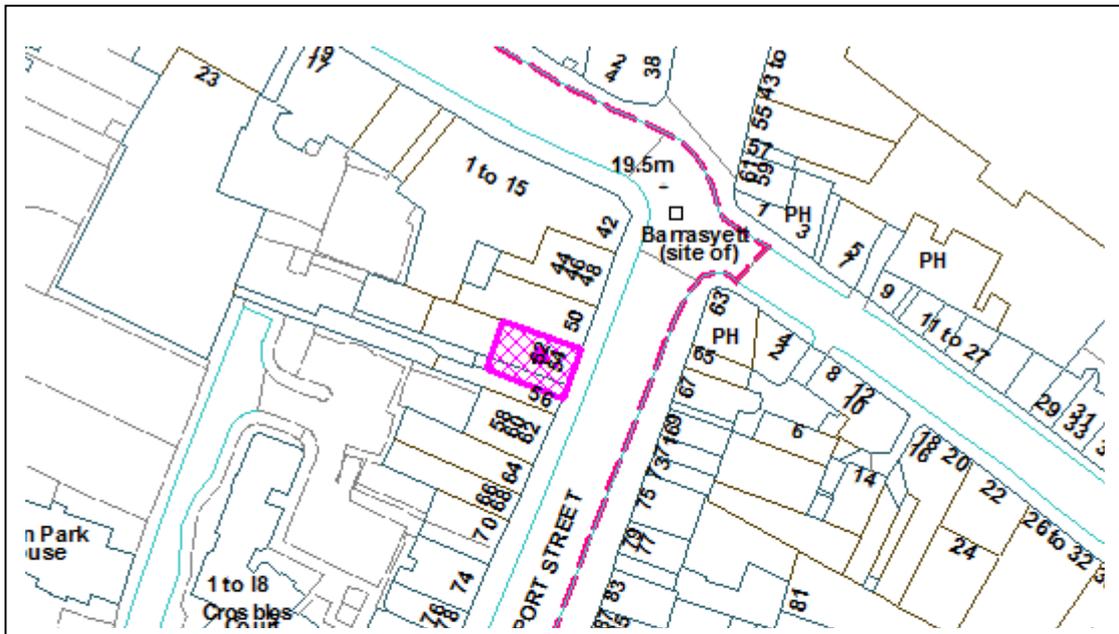
Directions Under Regulations 30, 31 or 32

Not Applicable.

PROPOSAL: Internal alterations to form 2 dwelling flats at Land And Buildings At 54A And 54B Port Street Stirling

UPRN: 000122070332
Ward: Ward 4 Castle
Reference: 16/00759/LBC
Type: Listed Building Consent
Date Valid: 23 November 2016
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk
Website: www.stirling.gov.uk/onlineplanning

Applicant/Agent: Mr Brian Falconer per TBB Architecture 17 Cockburn Street Falkirk FK1 1DJ



Recommendation: Approve with Conditions

Subject to the following Conditions:

- 1 **Partition Walls:** That within 54B Port Street all partition walls hereby approved shall be no higher than 2 metres and shall be enclosed without affecting any corning and/or ceiling plasterwork to the written satisfaction of the Planning Authority.

Reason(s):

- 1 To ensure there is no detrimental impact to the character of the Listed Building.

Status Constraints:

Conservation Area,
LB Cat: B

Supplementary Information:

The development proposal relates to a Category B Listed Building dated 1901.

Having regard to the provisions of the Development Plan and Section 14(2) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997, the determining issues in this application are the effect on the preservation of the Listed Building, and any features of special architectural or historic interest which it possesses.

The development proposals relating to each individual unit, will be accommodated without significant alterations to the existing arrangement of rooms/compartments. Moreover, the proposals respect the features of special architectural interest within the building in accordance with Primary Policy 7 and Policy 7.3 of the Stirling Local Development Plan. The recommendation to grant Listed Building Consent is in accordance with the Development Plan.

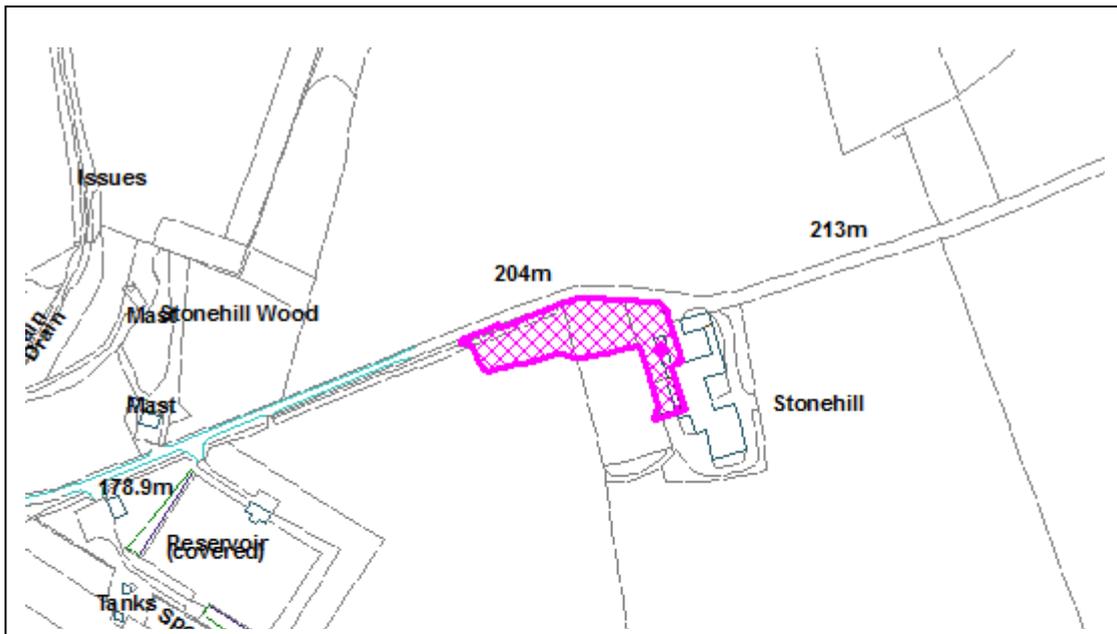
Community Council:

No consultation sent or requested.

PROPOSAL: Proposed refurbishment, alteration and extension to existing farmhouse with new access driveway at Stonehill House Dunblane FK15 0LP

UPRN: 000122047934
Ward: Ward 3 Dunblane & Bridge Of Allan
Reference: 16/00768/FUL
Type: Full
Date Valid: 28 November 2016
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk
Website: www.stirling.gov.uk/onlineplanning

Applicant/Agent: Kippendavie Group Trust per Lawrie Orr Chartered Architect 47 Strathmore Avenue Dunblane FK10 1JA



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Recommendation: Approve with Conditions

Subject to the following Conditions:

- 1 Protection of Breeding Birds During Construction:** No works to any part of the building within the development site shall take place between 1st March and 31st August inclusive, unless a suitably qualified ecologist has provided written confirmation that no birds will be harmed and/or that there are appropriate measures in place to protect nesting birds on site. Any such written submission should be submitted to the Planning Authority.
- 2 Protected Species Survey:** Within 6 months prior to the commencement of works on site, the building shall be inspected for evidence/presence of protected species. The findings shall be submitted in an up-to-date survey for the written approval of the Planning Authority. If any protected species are found to be present, mitigation measures shall be agreed and implemented prior to the commencement of works on site.
- 3 Tree Protection:** No works in connection with the permission hereby approved shall take place unless the trees along the frontage of the site, adjacent to the public road, have been protected by fencing in accordance with BS5837:2012 Trees in Relation to Design, Demolition and Construction. No materials, supplies, plant, machinery, soil heaps, changes in ground levels or construction activities shall be permitted within the protected area without the written consent of the Planning Authority.

- 4 **Details of Materials:** Prior to the commencement of works on site, a sample and/or details specification of the proposed roof finish of the development shall be submitted for the written approval of the Planning Authority. For the avoidance of any doubt, all roof finishes shall be in a natural slate to match the existing and laid in diminishing courses. The development shall be carried out in complete accordance with the approved details.
- 5 **Window Design - Details:** The proposed windows shall match the existing windows of the building in terms of material, profile, style, method of opening and finish colour. Full details of which shall be submitted for the written approval of the planning Authority prior to the commencement of works on site. The development shall be carried out in complete accordance with the approved details.
- 6 **Details of Surfacing Materials:** Prior to the commencement of works on site, a details specification of the proposed driveway and hard surfacing materials shall be submitted for the written approval of the Planning Authority. The development shall be carried out in complete accordance with the approved details.
- 7 **Roof/Eaves Design:** For the avoidance of any doubt, the eaves and gutter design of the proposed development shall match that of the original building in every aspect and no permission is granted for fascia boards.
- 8 **Visibility Sightlines:** Visibility, to the north east of the access, shall be provided and maintained by forming visibility splays of 2.4 metres x 65 metres in either direction from the centre of the proposed access, within which there shall be no obstruction to visibility more than 1.05 metres above carriageway level.

Visibility, to the south west of the access, shall be provided and maintained by forming visibility splays of 2.4 metres x 70 metres in either direction from the centre of the proposed access, within which there should be no obstruction to visibility more than 1.05m above carriageway level.
- 9 **Access:** The access shall be constructed at right angles to the public road, with a bellmouth formed comprising 3 metres radii, leading to an entrance throat width of 3 metres. The bellmouth shall be suitably surfaced/drained to ensure that no loose material or surface water will be carried or discharged from it onto the public road.
- 10 **Waste Collection:** Prior to the commencement of works on site details of a suitably designed waste storage/collection area adjacent to the public road but outwith the visibility splays (as stated in Condition 8) shall be submitted for the written approval of the Planning Authority. The dwelling hereby approved shall not be occupied/brought into use unless the storage facility is provided in accordance with the approved details and maintained thereafter as such.

Reason(s):

- 1 In the interest of safeguarding the habitat of local bird species.
- 2 In the interest of safeguarding the habitat of a protected species.
- 3 In order to ensure adequate protection for the trees on the site during the construction of development, and in the interests of the visual amenity of the area.
- 4 In order to achieve an acceptable form of external treatment.
- 5 In order to achieve an acceptable form of external treatment.
- 6 In order to ensure that the proposals are appropriate to the setting of the Listed Building.
- 7 In order to ensure that the proposals are appropriate to the setting of the Listed Building.
- 8 To enable drivers of vehicles leaving the site to have a clear view over a length of road sufficient to allow safe exit.

- 9 In order to ensure that the development is served by an appropriate standard of access and associated surfacing in the interests of road safety.
- 10 To ensure the safe storage of waste receptacles in the interest of road safety and visual amenity

Status Constraints:

Historic Scotland Battlefield Site
Countryside Policy,
Within 50m of Listed Building
LB Cat: C(s)

Supplementary Information:

Report of Handling

Summary of Representations

No representations received.

Summary of Consultation Responses

Transport Development: No objections subject to condition set out in recommendation.

Development Plan and Other Material Considerations

Primary Policy 1: Placemaking, of the Stirling Local Development Plan, September 2014, states that development of all scales must be designed and sited, not only with reference to their own specifications and requirements, but also in relation to the character and amenity of the place, urban or rural, where they are located.

Policy 2.12: Residential Alterations and Extensions, of the Stirling Local Development Plan, September 2014, the extension of residential properties will be supported provided that all the relevant criteria are satisfied:

- a) The proposal is of a scale, size, massing and design that is subordinate and sympathetic to the building to be extended and the wider townscape, and uses materials appropriate to its context.
- b) The proposal does not result in an over-development of the plot, with sufficient space remaining for garden ground, parking, bin storage, which is comparable to the amenity afforded to surrounding residential properties in this regard.
- c) The proposal does not result in a material detrimental impact on the amenity of surrounding residential properties in terms of privacy, noise or loss of daylight.

Stirling Council's Statutory Supplementary Guidance, SG12: Residential Alterations and Extensions, states that an extension to a house should be sympathetic in terms of scale, positioning and detail to the original building. Normally an extension will be considerably smaller than the original house, and should be designed to look like as it is an integral part.

Primary Policy 7: Historic Environment, of the Stirling Local Development Plan, September 2014, the historic environment and, where appropriate, the settings of its component features will be safeguarded, preserved and enhanced.

Policy 7.3: Development affecting Listed Buildings, of the Stirling Local Development Plan, September 2014, states that the layout, design, materials, scale, siting and use of any development must preserve the character of the listed buildings and its setting. Where this is not proposed, development will be refused.

Policy 7.5: New/Replacement Windows - Listed Buildings and Conservation Areas, of the Stirling Local Development Plan, September 2014, states that there will be a presumption in favour of the retention of original windows or other windows of historic significance. Replacement of, or alteration to, existing windows will be considered as follows (as relevant):-

a) Where original or other windows of historic significance are proven to be beyond repair, matching replacement will be acceptable.

Summary of Submission

Planning permission is sought for the erection of an extension and alterations to Stonehill Farmhouse, Dunblane. The site is situated within the Council's Countryside Policy boundary and comprises a category B Listed dwelling. The farmhouse is designed on a narrow rectangular plan with accommodation over two storeys. The dwelling was once part of a working farm complex, however, this has been replaced by a housing development comprising 6 residential units (planning permission 13/00361/FUL & 14/00416/FUL).

The development proposal involves the erection of a single-storey extension to the side, north elevation; replacement windows and, associated alterations including the formation of a new driveway access. Having regard to the provisions of the Development Plan and other material considerations, the main issues raised by this application are, the preservation of the character and historic interest of the Listed Building, the protection of residential amenity and road safety.

The proposed extension, comprising work-from-home office, will replicate the existing earlier addition to the south elevation in terms of scale, form, siting and fenestration. The proposal will reintroduce a symmetrical frontage to the farmhouse in a manner which complements the simple architectural character of the original frontage whilst maintaining its prominence as the main feature of listing. The principal elevation will also be enhanced by the proposals to remove the rainwater pipes and to form a driveway from the south which will create a sense of importance upon arrival. The proposed timber framed sash and case windows to replace the existing non-original units will preserve the character of the dwelling in accordance with Policy 7.5.

Overall, it is considered that the form and massing of the proposed addition is subordinate to the existing dwelling and the material scheme will achieve visual integration with the building to which it relates in accordance with Primary Policy 1 and Policy 2.12 of the LDP. The proposals also respect the character of the building and its features of special architectural interest in accordance with Primary Policy 7 and Policy 7.2. Finally, there are no concerns regarding privacy or loss of daylight/sunlight in respect of surrounding neighbouring properties.

The development proposal accords with the provisions of the Development Plan policy relating to the protection of the rural landscape setting and historic heritage, by virtue of its siting and design, and its relationship with the place to which it relates; the granting of planning permission is justified.

Summary of Main Issues Raised In Respect of:

Any Environmental Statement submitted.

Any assessment under Conservation (Natural Habitats &c.) Regulations 1994 carried out.

Any Design Statement or Design and Access Statement submitted.

Any report on impact or potential impact of the proposed development (e.g. retail, transport, noise or risk of flooding) submitted-.

Not Applicable.

Summary of terms of Section 75 Legal Agreements

Not Applicable.

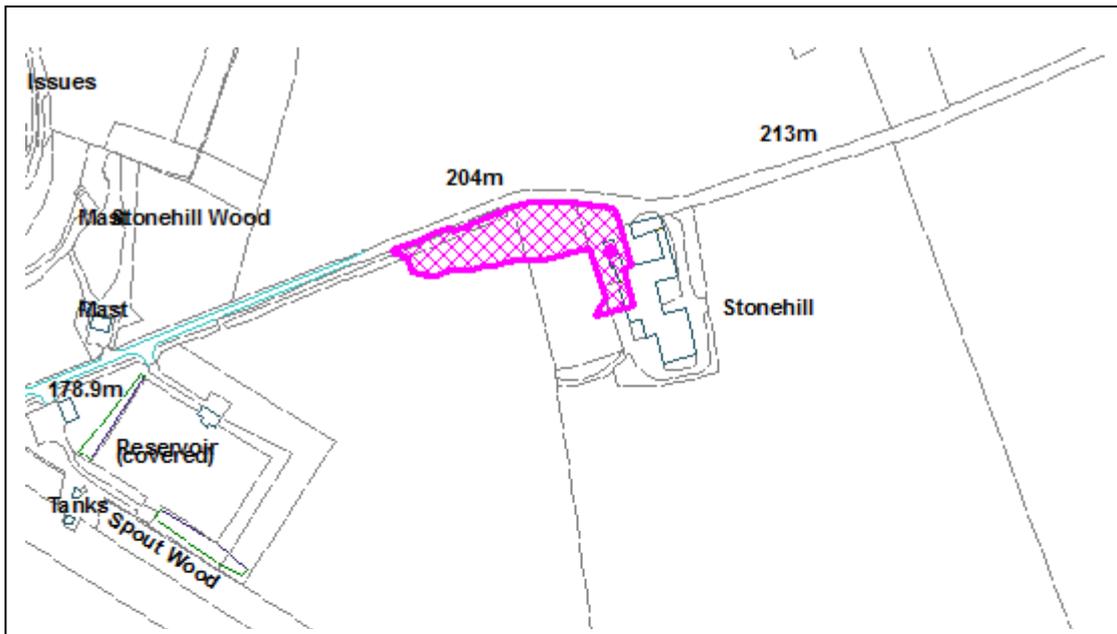
Directions Under Regulations 30, 31 or 32

Not Applicable.

PROPOSAL: Proposed refurbishment, alteration and extension to existing farmhouse with new access driveway at Stonehill House Dunblane FK15 0LP

UPRN: 000122047934
Ward: Ward 3 Dunblane & Bridge Of Allan
Reference: 16/00769/LBC
Type: Listed Building Consent
Date Valid: 28 November 2016
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk
Website: www.stirling.gov.uk/onlineplanning

Applicant/Agent: Kippendavie Group Trust per Lawrie Orr Chartered Architect 47 Strathmore Avenue Dunblane FK10 1JA



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Recommendation: Approve with Conditions

Subject to the following Conditions:

- 1 Details of Materials:** Prior to the commencement of works on site, a sample and/or details specification of the proposed roof finish of the development shall be submitted for the written approval of the Planning Authority. For the avoidance of any doubt, all roof finishes shall be in a natural slate to match the existing and laid in diminishing courses. The development shall be carried out in complete accordance with the approved details.
- 2 Window Design - Details:** The proposed replacement windows shall match the existing windows of the building in terms of material, profile, style, method of opening and finish colour. Full details of which shall be submitted for the written approval of the Planning Authority prior to the commencement of works on site. The development shall be carried out in complete accordance with the approved details.
- 3 Details of Surfacing Materials:** Prior to the commencement of works on site, a detail specification of the proposed driveway and hard surfacing materials shall be submitted for the written approval of the Planning Authority. The development shall be carried out in complete accordance with the approved details.

- 4 **Roof/Eaves Design:** For the avoidance of any doubt, the eaves and gutter design of the proposed development shall match that of the original building in every aspect and no consent is granted for fascia boards.

Reason(s):

- 1 In order to achieve an acceptable form of external treatment in keeping with the character and appearance of the Listed Building.
- 2 In order to achieve an acceptable form of external treatment in keeping with the character and appearance of the Listed Building.
- 3 In order to ensure that the proposals are appropriate to the setting of the Listed Building.
- 4 In order to ensure an acceptable form of external treatment in keeping with the character and appearance of the Listed Building.

Status Constraints:

Historic Scotland Battlefield Site
Countryside Policy,
Within 50m of Listed Building
LB Cat: C(s)

Supplementary Information:

The development proposal relates to a Category B Listed Building dated 1901.

Having regard to the provisions of the Development Plan and Section 14(2) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997, the determining issues in this application are the effect on the preservation of the Listed Building, and any features of special architectural or historic interest which it possesses.

The development proposals respect the simple architectural character and form of the building in accordance with Primary Policy 7 and Policy 7.3 of the Stirling Local Development Plan. The recommendation to grant Listed Building Consent is in accordance with the Development Plan.

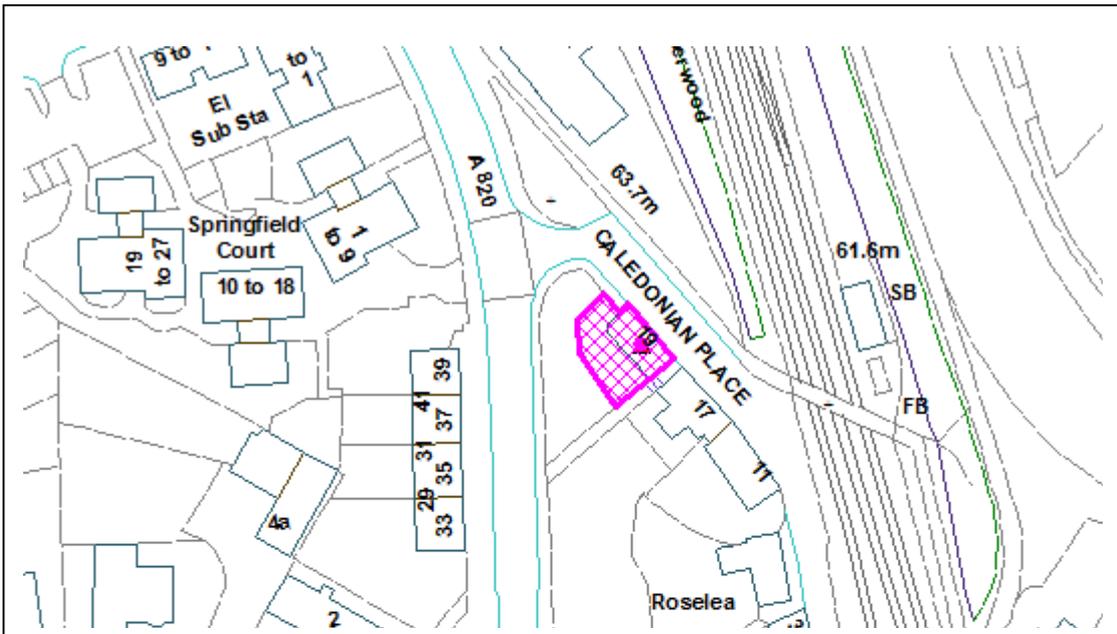
Community Council:

No consultation sent or requested.

PROPOSAL: Change of use of land and building to dwelling house with associated garden ground for holiday letting accommodation (Class 7) at 19 Caledonian Place Dunblane FK15 9AF

UPRN: 000122036483
Ward: Ward 3 Dunblane & Bridge Of Allan
Reference: 16/00786/FUL
Type: Full
Date Valid: 7 December 2016
Officer: Mark Laird, Telephone: 01786 233678, Email: lairdm@stirling.gov.uk
Website: www.stirling.gov.uk/onlineplanning

Applicant/Agent: SA2 Properties per Sakina Kauser-Curreshi 0/2 24 Morley Street Glasgow G42 9JB



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Recommendation: Approve with Conditions

Subject to the following Conditions:

- 1 **Boundary Treatment - Details:** Prior to the commencement of any such works on site, details of the proposed means of boundary treatment shall be submitted for the written approval of the Planning Authority. For the avoidance of any doubt, boundary fencing or walling shall measure no higher than 1250 millimetres in height. The development shall be implemented in accordance with the approved details.

Reason(s):

- 1 To ensure that the plot boundary respects the boundaries of surrounding properties in the interests of amenity.

Status Constraints:

None Mapped

Supplementary Information:

Report of Handling

Summary of Representations

Two representations have been received raising the following comments:

a) Parking: The proposal will increase the volume of traffic and reduce the level of parking provision.

Response: Following consultation with the Transport Development (Roads) no issues were identified with regard to road safety and it is anticipated that the proposed residential use will generate less vehicle trips and demand for parking than the previous office use. Therefore, the application could not be reasonably refused on these grounds.

b) Loss of Public Space: The proposal appears to acquire a sizeable portion of public amenity ground. The public green offers a pleasant open space on the fringe of high density housing nearby.

Response: Whilst it is acknowledged that the area of open space subject to the proposed change of use to garden ground is aesthetically pleasing, it is limited in terms of its contribution to formal and informal recreation given its size and location in close proximity to a heavily used public road (Springfield Road). In this context, the loss of what is considered to be a relatively modest portion of the overall area of land will not have an adverse impact upon the amenity of the surrounding area.

Summary of Consultation Responses

Transport Development: No objections raised and no conditions recommended.

Environmental Health: No objection. Recommend a condition be imposed to restrict construction hours.

Dunblane Community Council: No objection. Recommend a condition be imposed to restrict the height of the fence to 4 feet.

Development Plan and Other Material Considerations

Primary Policy 1: Placemaking, of the Stirling Local Development Plan, September 2014, states that development of all scales must be designed and sited, not only with reference to their own specifications and requirements, but also in relation to the character and amenity of the place, urban or rural, where they are located.

Policy 2.4: Safeguarding Employment Land and Property, of the Stirling Local Development Plan, September 2014, states that all employment land and property (particularly those sites allocated in the Plan) for Class 4 business, will be safeguarded for employment generating uses.

Supplementary Guidance, SG11 New Uses for Redundant Rural Buildings, states that the Council generally supports the re-use of redundant rural buildings provided that the building is of quality and its character is not materially altered.

Policy 15.1: Tourism development including facilities and accommodation, supports proposals for tourism accommodation where they:

- a) Are commensurate in scale with their location and setting;
- b) Complement existing tourist facilities;
- c) Promote a wider spread of visitors and economic benefits;
- d) Promote a responsible access to the natural and historic environment.

Summary of Submission

Planning permission is sought for the conversion and change of use of the former Stirling Council office building (Class 4) and adjacent public open space to holiday accommodation (Class 7) at 19 Caledonian Place, Dunblane. The site has a dual aspect to Caledonian Place and Springfield Terrace. The principal aspect of the building is to Caledonian Place which is a traditional narrow street delineated by buildings along the carriageway edge.

Having regard to the provisions of the Development Plan, the issues raised by this application are: the potential impact on the area as a result of the loss of employment generating premises and public open space; the likely benefits associated with the re-use of a vacant building for holiday let and the impacts of that proposed use on surrounding neighbouring properties.

The building is a modest single-storey property which was originally constructed as a dwelling house. The proposal to bring the property into residential use is considered acceptable in land use planning terms due to compatibility with surrounding adjoining uses. It is also considered that the proposed change of use of the adjacent public open space would not harm the amenity of the area. Furthermore, the loss of a modest office space (Class 4) would not be detrimental to the objectives of the development plan relating to safeguarding employment property.

In conclusion, the development proposal accords with the provisions of the Development Plan policy relating to the protection of the urban environment and residential amenity; the granting of planning permission is justified.

Summary of Main Issues Raised In Respect of:

Any Environmental Statement submitted.

Any assessment under Conservation (Natural Habitats &c.) Regulations 1994 carried out.

Any Design Statement or Design and Access Statement submitted.

Any report on impact or potential impact of the proposed development (e.g. retail, transport, noise or risk of flooding) submitted-.

Not Applicable.

Summary of terms of Section 75 Legal Agreements

Not Applicable.

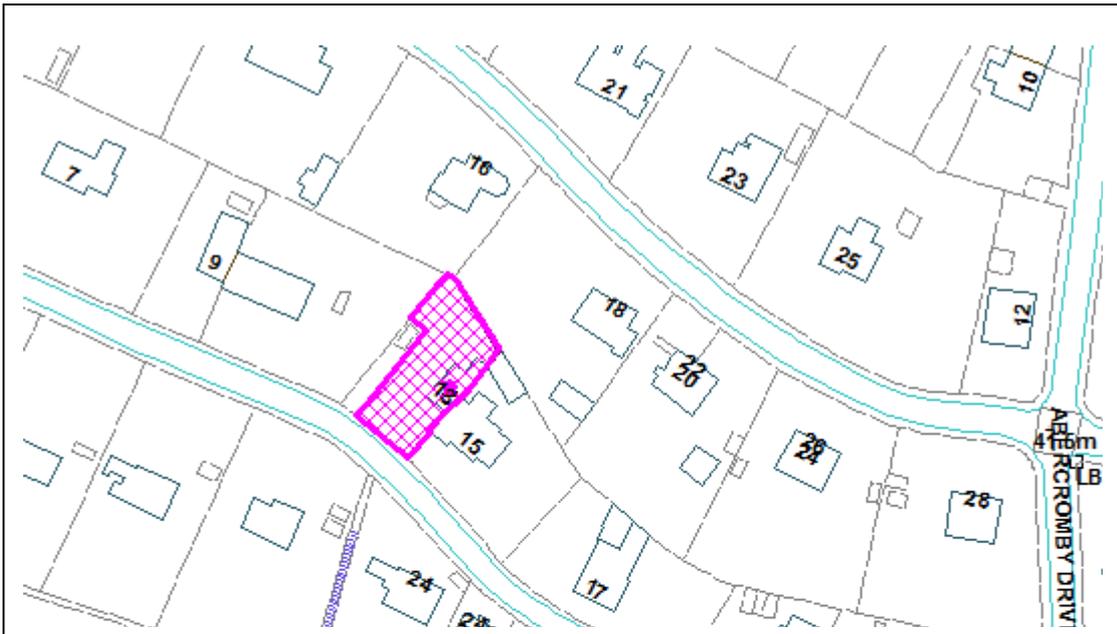
Directions Under Regulations 30, 31 or 32

Not Applicable.

PROPOSAL: **Proposed window and door alterations and re-roofing works to existing annex at Kalaba 13 Kenilworth Road Bridge Of Allan FK9 4DU**

UPRN: **000122024315**
Ward: **Ward 3 Dunblane & Bridge Of Allan**
Reference: **16/00843/FUL**
Type: Full
Date Valid: 4 January 2017
Officer: Iain Jeffrey, Telephone: 01786 233676, Email: jeffreyi@stirling.gov.uk
Website: www.stirling.gov.uk/onlineplanning

Applicant/Agent: Mr Marc Campbell per Architectural Technician Services Ltd 13 Taran Alloa FK10 1RF



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Recommendation: **Approve with Conditions**

Subject to the following Conditions:

- 1 **Replacement Slate:** The new replacement slate over the kitchen shall be a Burlington Blue/Grey; any variation to the slate specification will require the written approval of the Planning Authority, prior to installation.

Reason(s):

- 1 In order to preserve the character of the Listed Building and the Conservation Area.

Status Constraints:

Conservation Area,
Within 50m of Listed Building
LB Cat: C(s)

Supplementary Information:

Report of Handling

Summary of Representations

No representations received.

Summary of Consultation Responses

No consultations required.

Development Plan and Other Material Considerations

Adopted Stirling Local Development Plan 2014:
Policy 2.12: Residential Alterations and Extensions

The alteration and/or extension of residential properties will be approved provided that all the relevant criteria are satisfied: -

(a) The proposal is of a scale, size, massing and design that is subordinate and sympathetic to the building to be extended and the wider townscape, and uses materials appropriate to its context.

(b) The proposal does not result in an over-development of the plot, with sufficient space remaining for garden ground, parking, and bin storage, which is comparable to the amenity afforded to surrounding residential properties in this regard.

(c) The proposal does not result in a material detrimental impact on the amenity of surrounding residential properties in terms of privacy, noise or loss of daylight.

[SG12 supports this policy by providing further guidance on the siting and design of alterations and extensions].

Policy 7.2: Development within and outwith Conservation Areas

(a) Development within a Conservation Area and development outwith that will impact on the conservation area, shall preserve or enhance its character, appearance and setting. All new development should respect the architectural and visual qualities of the area, have regard to the character of the area as identified in the relevant Conservation Area Character Appraisal, and should: -

(i) Relate well to the density and pattern of existing development; the design, massing, scale and materials used in surrounding buildings; means of access and boundary and landscape treatments such as walls, railings, trees and hedges. [See Policy 7.4 for the treatment of boundaries / hard standings in Conservation Areas and Listed Buildings].

(ii) Retain existing natural and built features which contribute to the character of the Conservation Area and/or its setting.

(b) Given the importance of assessing design matters, applications for Planning Permission in Principle will not normally be considered appropriate for development proposals in Conservation Areas.

(c) Where an existing building, Listed or not, contributes positively to the character of the Conservation Area, proposals involving demolition will be considered in terms of Part (a) (ii) and Policy 7.3. Proposals for demolition will only be considered if accompanied by a detailed planning application for a replacement development that enhances or preserves the character of the Conservation Area. If allowed, demolition should not commence until evidence is given of contracts let for the approved redevelopment.

[Character Appraisals of the character and qualities of the Conservation Areas have been produced and inform specific Key Site Requirements, Development Frameworks, Masterplans, and Planning Briefs.

Specific opportunities for action, enhancement and management strategies within Conservation Areas will be taken forward in the development of the Settlement Statements/Strategies, see Action Programme].

Policy 7.3: Development affecting Listed Buildings

(a) The layout, design, materials, scale, siting and use of any development must preserve the character of the Listed Building and its setting. Where this is not proposed, development will be refused. There is a presumption against demolition or other works that adversely affect the special interest of a building or its setting.

(b) Listed Buildings should not be demolished unless it can be clearly demonstrated that any of the following apply: -

(i) The building is no longer of special interest.

(ii) The building is beyond repair.

(iii) The demolition of the building is essential to delivering significant benefits to economic growth or the wider community.

(iv) The repair of the building is not economically viable and it has been marketed at a price reflecting its location and condition to potential restoring purchasers for a reasonable period.

(c) Understanding the architectural and historic significance of a building or structure is an important pre-requisite to making informed decisions about its development. In some cases the preparation of a Conservation Plan in support of a development proposal will be required. In instances where significant alteration or demolition of a building is approved, measures will be required to ensure adequate recording of the building (see Policy 7.1 and SG21).

Summary of Submission

The house at 13 Kenilworth is a Listed Building category C grade and is within a Conservation Area.

The planning application proposals are for external alterations to the ground floor kitchen only and propose the installation of a Conservation rooflight over the kitchen, infill existing kitchen back door with roughcast to matching existing and to replace the slate roof over the kitchen with new natural slates.

The existing slates on the kitchen roof are in very poor condition and warrant replacement. The agent has advised that a condition that requires the slates to be a Burlington Blue/Grey is acceptable. The external alterations would respect the character and appearance of the Listed Building.

The application complies with Policies 2.12, 7.2 and 7.3 of the Stirling Local Development Plan relating to alterations to a house that is a listed building and within a Conservation Area.

Summary of Main Issues Raised In Respect of:

Any Environmental Statement submitted.

Any assessment under Conservation (Natural Habitats &c.) Regulations 1994 carried out.

Any Design Statement or Design and Access Statement submitted.

Any report on impact or potential impact of the proposed development (e.g. retail, transport, noise or risk of flooding) submitted.

Not applicable.

Summary of terms of Section 75 Legal Agreements

Not applicable.

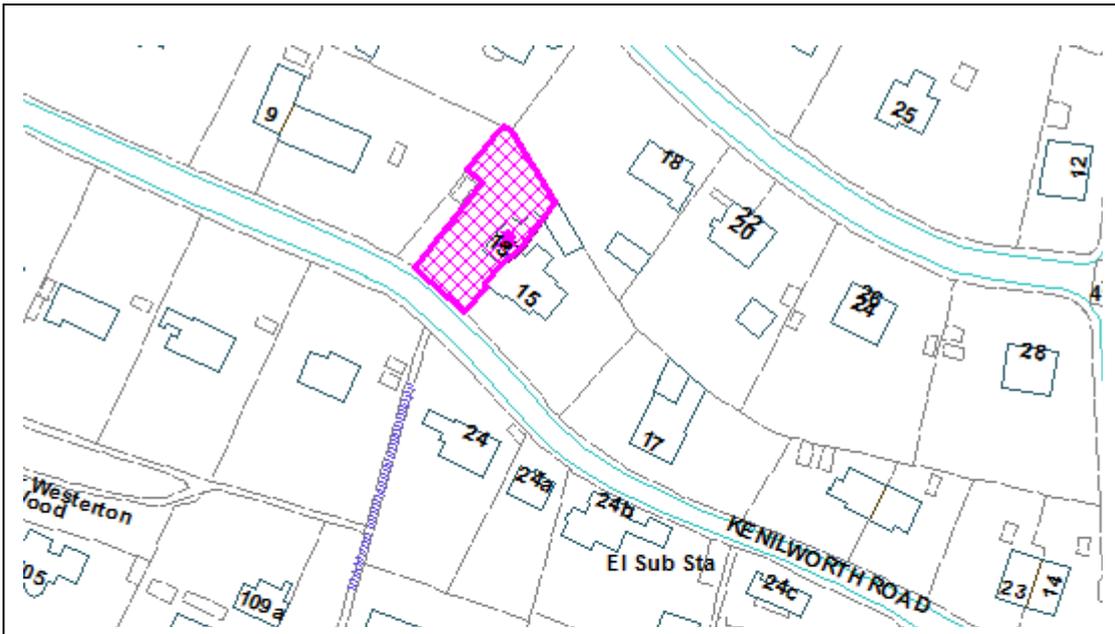
Directions Under Regulations 30, 31 or 32

Not applicable.

PROPOSAL: Proposed internal and external alterations and re roofing of existing annex at Kalaba 13 Kenilworth Road Bridge Of Allan FK9 4DU

UPRN: 000122024315
Ward: Ward 3 Dunblane & Bridge Of Allan
Reference: 16/00844/LBC
Type: Listed Building Consent
Date Valid: 23 December 2016
Officer: Iain Jeffrey, Telephone: 01786 233676, Email: jeffreyi@stirling.gov.uk
Website: www.stirling.gov.uk/onlineplanning

Applicant/Agent: Mr Marc Campbell per Architectural Technician Services Ltd 13 Taran Alloa FK10 1RF



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Recommendation: Approve with Conditions

Subject to the following Conditions:

- 1 **Replacement Slate:** The new replacement slate over the kitchen shall be a Burlington Blue/Grey; any variation to the slate specification will require the written approval of the Planning Authority, prior to installation.

Reason(s):

- 1 In order to preserve the character of the Listed Building and the Conservation Area.

Status Constraints:

Conservation Area,
Within 50m of Listed Building
LB Cat: C(s)

Supplementary Information:

The house at 13 Kenilworth Road is a Listed Building category C grade and is within a Conservation Area.

The proposals are for alterations in the ground floor only and are to install a stain glass window feature between the ground floor lounge and dining room, 3 internal window features between the lounge and hall, removal of non-load bearing walls in dining room and kitchen, install a Conservation rooflight over the kitchen, infill existing kitchen back door with roughcast to matching existing and to replace the slate roof over the kitchen with new natural slates.

The existing slates on the kitchen roof are in very poor condition and warrant replacement. The agent has advised that a condition that requires the slates to be a Burlington Blue/Grey is acceptable. The internal and external alterations would respect the character and appearance of the Listed Building.

The application complies with Policies 2.12, 7.2 and 7.3 of the Stirling Local Development Plan relating to alterations to a house that is a Listed Building and within a Conservation Area.

Community Council:

No consultation sent or requested.

Planning Panel Decisions

Planning Panel - 31 January 2017

PROPOSAL: Change of use of grazing field to allow the site to be used as an event space including creation of an area of hardstanding to the north east corner of the field; surfacing of vehicle access track to connect existing eastern access point with the southern access point; drainage investigations and subsequent improvements to the drainage system as required; creation of two pedestrian access/egress points at the eastern boundary of the field at Land 350 Metres East Of Falleninch Cottage Dumbarton Road West Stirling

UPRN: 000122070273
Ward: Ward 4 Castle
Reference: 16/00625/FUL
Type: Full
Date Valid: 23 September 2016
Officer: Mark Laird, Telephone: 01786 233678 Email: lairdm@stirling.gov.uk

Applicant/Agent: Stirling Council Endrick House Kerse Road Stirling FK7 7SG

Decision: Approve with Conditions

PROPOSAL: Urban woodland and regeneration proposals including 4 house development with new vehicular access and associated landscaping at Kippendavie Wood Kippendavie Road Dunblane

UPRN: 000122059273
Ward: Ward 3 Dunblane & Bridge Of Allan
Reference: 16/00099/FUL
Type: Full
Date Valid: 22 February 2016
Officer: Jay Dawson, Telephone: 01786 233683 Email: dawsonj@stirling.gov.uk

Applicant/Agent: The IGM Dalgleish (1991) Trust per JM Planning Services 20 Braemar Drive Duloch Park Dunfermline KY11 8ES

Decision: Refuse

PROPOSAL: **Erection of footbridge and road over rail bridge with associated new road and junction improvements at Land At And South East Of Cornton Railway Crossing Cornton Road Bridge Of Allan**

UPRN: **000122070376**
Ward: **Ward 3 Dunblane & Bridge Of Allan**
Reference: **16/00802/FUL**
Type: Full
Date Valid: 7 December 2016
Officer: Mark Laird, Telephone: 01786 233678 Email: lairdm@stirling.gov.uk

Applicant/Agent: Network Rail George House 36 North Hanover Street Glasgow G1 2AD

Decision: **The Panel agreed to defer consideration of the application pending a Hearing to take place at a future meeting of the Panel**

Planning Applications Withdrawn

PROPOSAL: Proposed alterations to shopfront, internal fitout alterations, installation of new flue for new pizza oven, temporary access ramp/steps to shared parking area at Papa Joe's Restaurant 21 Dumbarton Road East Stirling FK8 2LQ

UPRN: 000122019693

Ward: Ward 5 Stirling West

Reference: 16/00790/FUL

Type: Full

Date Valid: 8 December 2016

Officer: Iain Jeffrey, Telephone: 01786 233676, Email: jeffreyi@stirling.gov.uk

Applicant/Agent: Solo Famiglia Ltd per Enspire Architects Ltd Office 29, Alloa Business Ctr Whins Rd Alloa FK10 3SA

Decision: Withdrawn

Planning Enforcement – week ending 03/02/17

New Cases Received

None

Delegated Decisions

Cases Closed

None

Planning Contravention Notices Served

None

Breach of Condition Notices Served

None

Enforcement Notices Served

None

Amenity Notices Served

None

Forestry Planting and Felling Proposals

There are no entries on the register for the Stirling Council Area this week.
